

Ward 32, Zoning Designation R (d 0.6)
 Part of Lot 47 - Reg'd Plan 1428 Toronto
 Lot Area = 270 sq.m.
 Existing Dwelling GFA Total = 124.6 sq.m.
 GFA Main Floor = 76.1 sq.m.
 GFA Second Floor = 76.1 sq.m.
 Proposed Dwelling GFA Total = 152.2 sq.m.
 FSI Proposed [Allowed] = 0.56 [0.6]
 Building Depth Proposed [Allowed] = 12.12m [17m]
 Building Height Proposed [Allowed] = 8.19m [10m]
 60% Building Height at front and back main walls Proposed [Allowed] = 7.5m [7.5m]
 Front Building Setback Proposed [Allowed] = 4.36m [4.36m]
 Rear Building Setback Proposed [Allowed] = 18.88m [7.5m]
 Side (east) Building Setback Proposed [Allowed] = 1.08m [0.9m]
 Side (west) Building Setback Proposed [Allowed] = 0.28m [0.28 m]
 Front Landscaping Proposed [Allowed] = 57% [50%]
 Rear Soft Landscaping Proposed [Allowed] = 57% [50%]
 Lot Coverage Proposed = 47%

Established Grade = 87.34

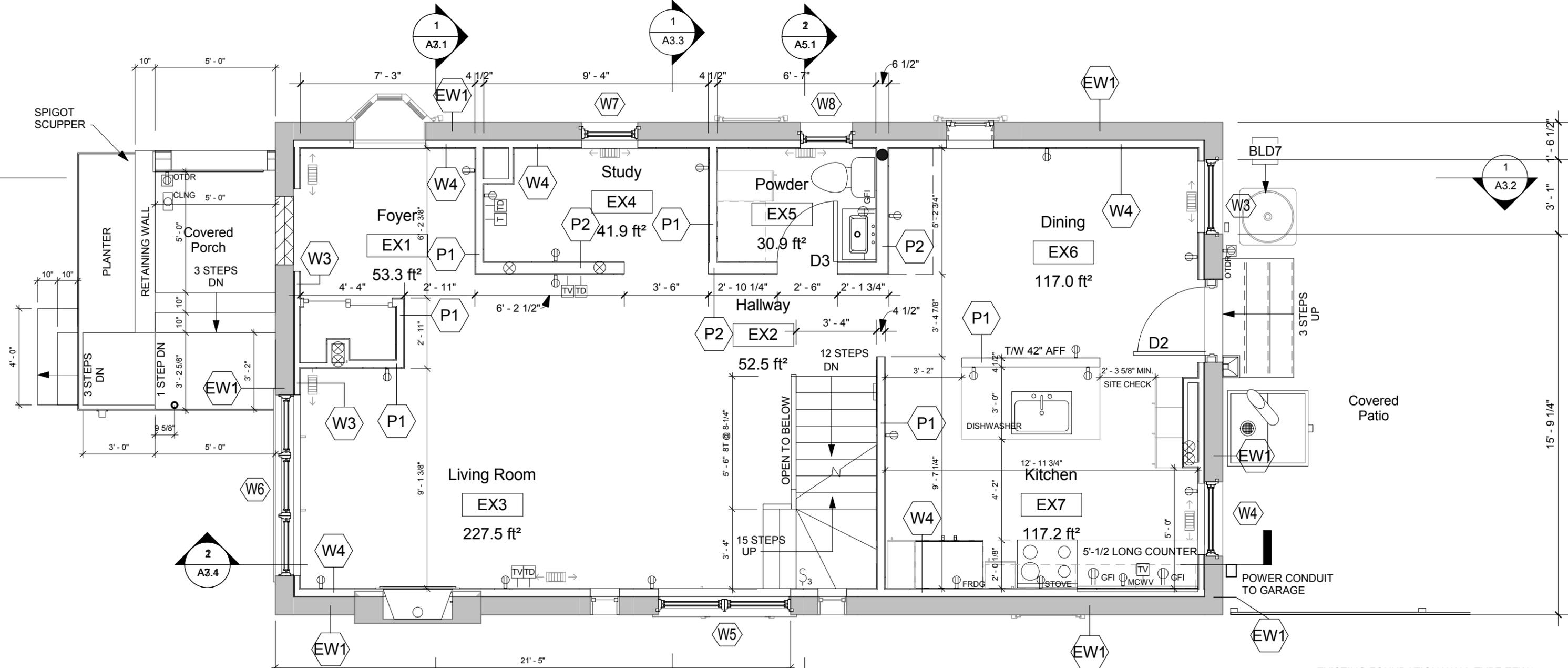
NOTE: Canopy and Deck in Rear Yard: Exterior sides are 77% exposed to outside, and canopy and deck are attached to the building, therefore sides are not considered main walls, and not used to determine building depth.

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No.	Description	Date
1	Preliminary Pricing	Feb 17, 2016
2	Issued for Zoning Certificate	Apr 8, 2016
3	Response to Zoning Notice 2016-04-21	Apr 25, 2016
6	Issued for Building Permit	June 27, 2016
7	Issued for Tender	June 28, 2016

Check and verify all dimensions and other information. Report all errors and omissions. Do not scale drawings. These documents shall only be used for the purpose indicated on this page, when so noted and initiated by the Architect. These documents are instruments of service and are the copyright property of Harrison Duong Architects Incorporated.

House Renovation & Addition 249 Woodfield Road, Toronto, ON, M4L 2W8	Project No.	15-002
	Date Plotted	17/02/2021 3:22:56 PM
Site Plan	Drawing No.	A1.1
	Scale	1 : 125
	Issue No.	7



NO.	Description
BLD7	RETAIN AC CONDENSOR. PROTECT DURING CONSTRUCTION.

- POWER (GROUND)
- 1 - POWER CONDUIT & DISTRIBUTION TO GARAGE
 - 19 - 120V 15A RECEPTABLE INCL. FRIDGE/MICROWAVE
 - 2 - 120V 15A GFCI W/ OUTDOOR COVER
 - 1 - 120V 15A HARDWIRED DISHWASHER
 - 1 - 120V 15A HARDWIRED RANGE FAN
 - 1 - OVEN CIRCUIT & CONNECTION (RELOCATED)
 - 1 - 120V 15A OUTDOOR CEILING RECEPTACLE
 - 3 - 120V 15A GFCI
- TELECOMMUNICATION: TD-TELEDATA / TV-CABLE / T-TELEPHONE (GROUND)
- 1 - TV
 - 2 - TV/TD
 - 1 - T/TD

EXISTING FOUNDATION WALL TYPE EFW1:

- 15" STONE FOUNDATION WALL
- EXPOSED STONE FACE ABOVE GRADE

EXTG WALL TYPE - EW1:

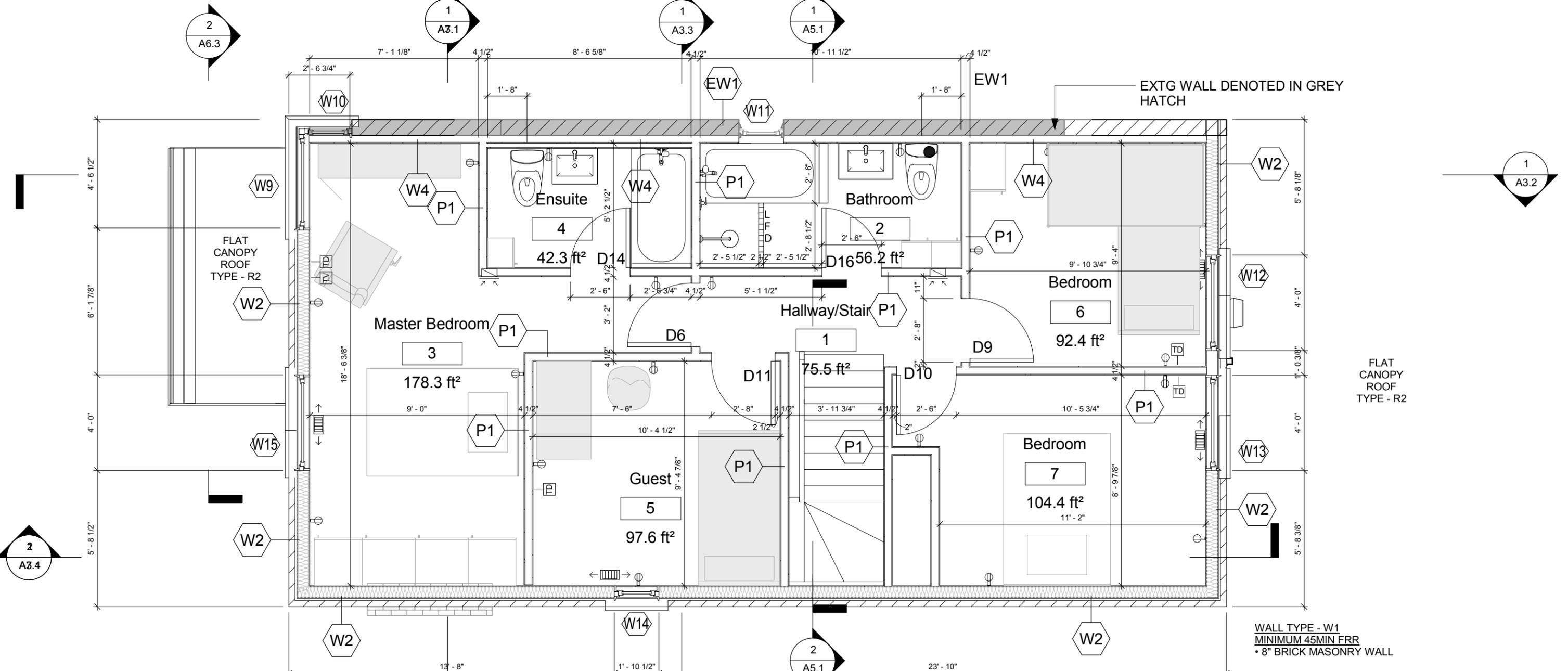
- 8" BRICK MASONRY WALL
- PLASTER ON WOOD LATH

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No.	Description	Date
6	Issued for Building Permit	June 27, 2016
7	Issued for Tender	June 28, 2016
8	Response to OBC Notice 2016-07-08	July 9, 2016
9	Application for Revision to Permit	August 16, 2016
12	For Partition Layout	Sept 26, 2016
14	Kitchen & Bathout Finishes Layout	Oct 24, 2016
16	As-built	Nov 10, 2017

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House Renovation & Addition 249 Woodfield Road, Toronto, ON, M4L 2W8	Project No.	15-002
	Date Plotted	17/02/2021 3:12:32 PM
Ground Floor Plan	Drawing No.	A2.5
	Scale	1/4" = 1'-0"
	Issue No.	16



1 2nd Floor Plan
1/4" = 1'-0"

- WALL TYPE - W1**
 MINIMUM 45MIN FRR
 • 8" BRICK MASONRY WALL
- WALL TYPE - W2**
 MINIMUM 45MIN FRR ALONG SOUTH EXTERIOR WALL
 • 4" CORED BRICK UNITS (PROVIDES 1.5hr F.R.R. AS PER OBC SB-2 TABLE 2.2.1.)
 • 1" AIR SPACE
 • BREATHABLE AIR BARRIER
 • 7/16" SHEATHING BOARD
 • 2X6 WOOD STUDS
 • 5.5" FIBERGLAS BATT INSULATION R-24 (RSI 4.23)
 • VAPOUR BARRIER
 • 1/2" GWB

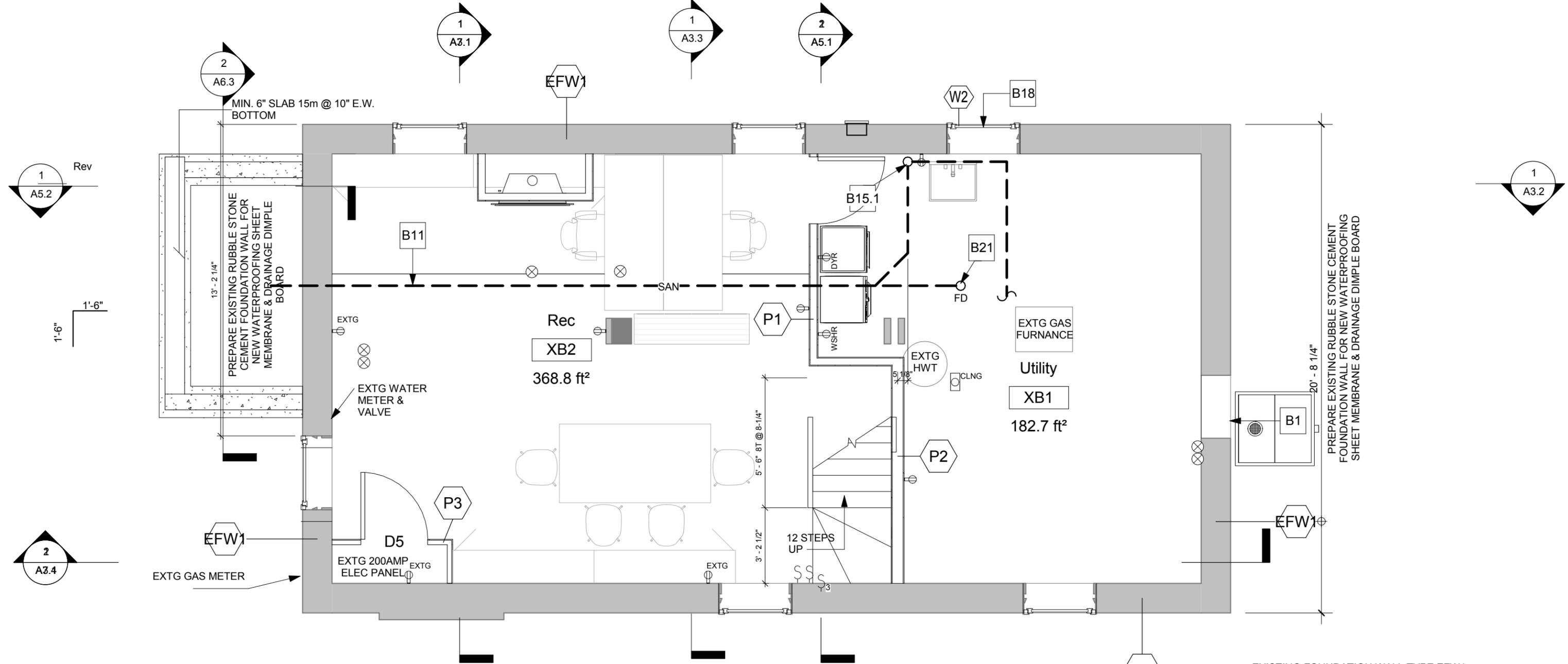
- POWER (2ND)
 20 - 120V 15A RECEPTABLE
 TELECOMMUNICATION: TD-TELEDATA / TV-CABLE / T-TELEPHONE (2ND)
 1 - TV/TD
 3 - TD

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No.	Description	Date
6	Issued for Building Permit	June 27, 2016
7	Issued for Tender	June 28, 2016
9	Application for Revision to Permit	August 16, 2016
11	Application for Revision to Permit	Sept 14, 2016
12	For Partition Layout	Sept 26, 2016
14	Kitchen & Bathout Finishes Layout	Oct 24, 2016
16	As-built	Nov 10, 2017

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House Renovation & Addition 249 Woodfield Road, Toronto, ON, M4L 2W8	Project No.	15-002
	Date Plotted	17/02/2021 3:21:31 PM
2nd Floor Plan	Drawing No.	A2.8
	Scale	As indicated
	Issue No.	16



NO.	Description
B1	REMOVE DOOR & FRAME. INFILL OPENING WITH CONC BLOCK AND PREP FOUNDATION READY TO RECEIVE NEW WATERPROOFING.
B11	EXTG UNDERSLAB SANITARY SEWER; SCOPE TO DETERMINE IF REPLACEMENT IS NECESSARY.
B15.1	REMOVE EXTG PLUMBING VENT AND REBUILT NEW.
B18	REMOVE WINDOW AND FRAME. INFILL OPENING W/ NEW GLASS BLOCK. EXTG HOSE BIB TO REMAIN; INCORPORATE W/ GLASS BLOCK.
B21	REBUILD FLOOR DRAIN.
B26	MIN. 6" SLAB 15m @ 10" E.W. BOTTOM

- POWER (BASMENT)
- 4 - 120V 15A RECEPTABLE (3 EXTG)
 - 1 - 120V 15A WASHER
 - 1 - 120V 15A CEILING RECEPTACLE
 - 1 - DRYER CIRCUIT & CONNECTION (RELOCATED)

- EXISTING FOUNDATION WALL TYPE EFW1:**
- 15" STONE FOUNDATION WALL
 - EXPOSED STONE FACE ABOVE GRADE
- EXTG WALL TYPE - EW1:**
- 8" BRICK MASONRY WALL
 - PLASTER ON WOOD LATH

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No.	Description	Date
6	Issued for Building Permit	June 27, 2016
7	Issued for Tender	June 28, 2016
8	Response to OBC Notice 2016-07-08	July 9, 2016
9	Application for Revision to Permit	August 16, 2016
10	For Shop Drawing Review	August 30, 2016
12	For Partition Layout	Sept 26, 2016
16	As-built	Nov 10, 2017

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House Renovation & Addition 249 Woodfield Road, Toronto, ON, M4L 2W8	Project No.	15-002
	Date Plotted	17/02/2021 3:13:19 PM
Basement Floor Plan	Drawing No.	A2.3
	Issue No.	16
Scale	1/4" = 1'-0"	